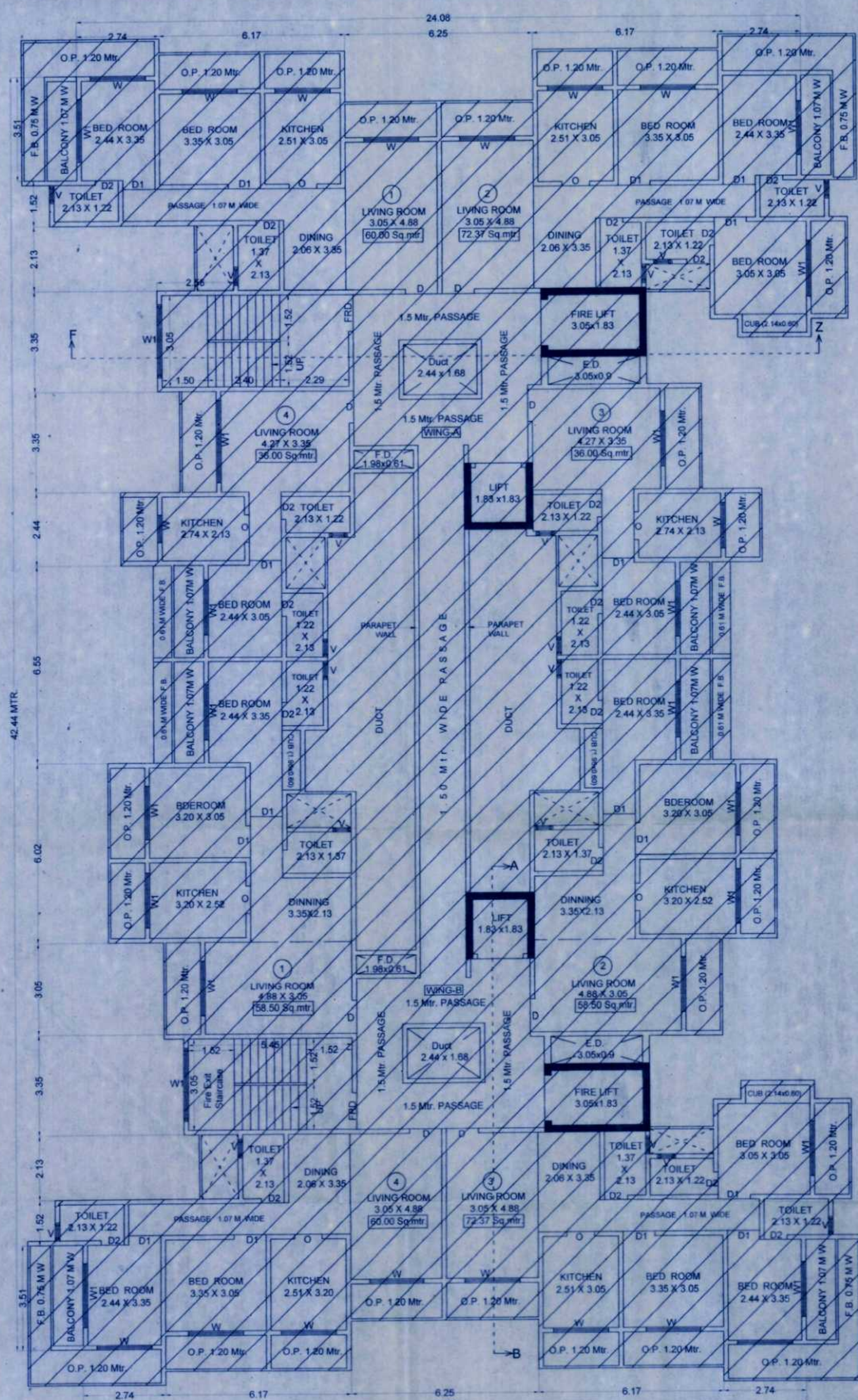
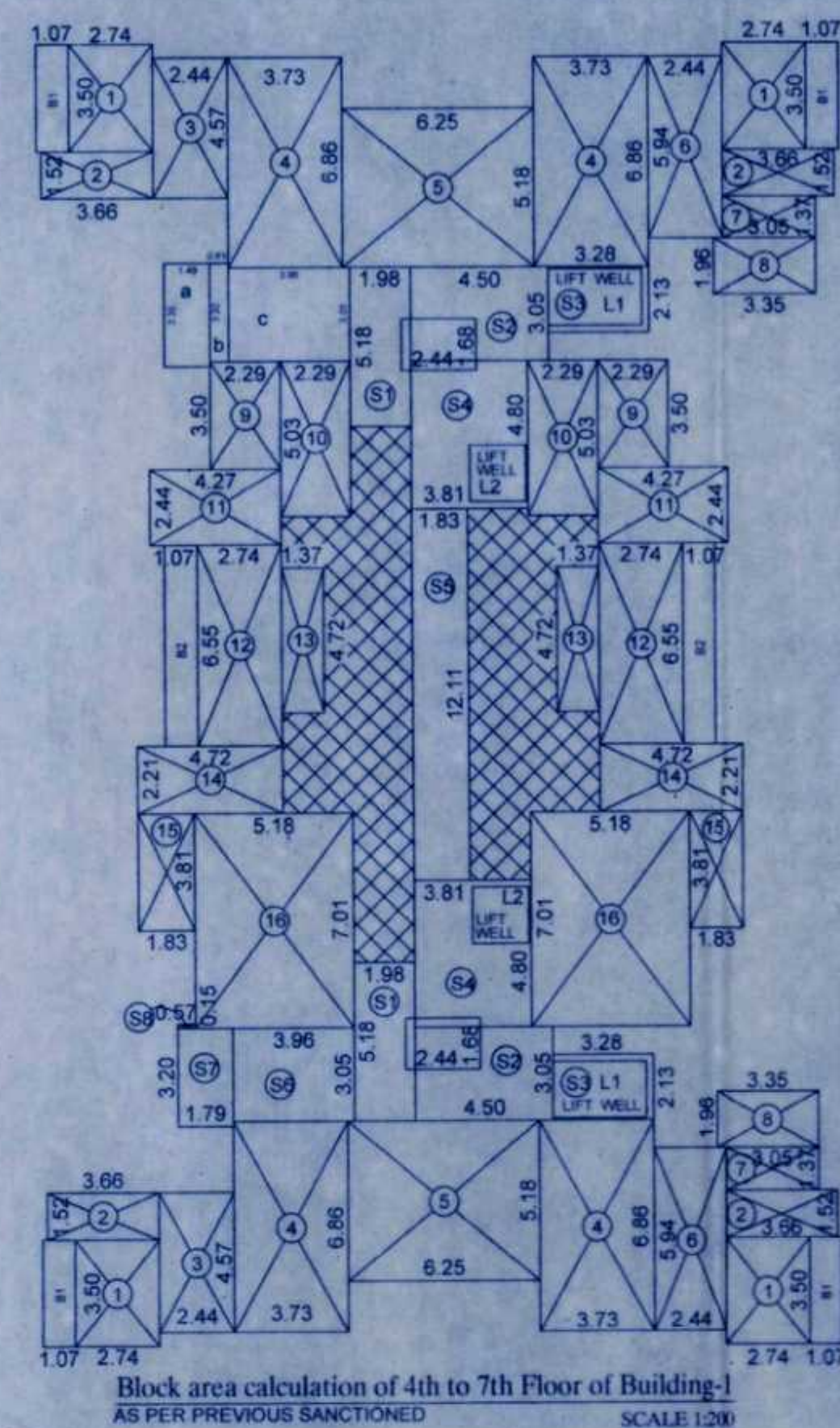


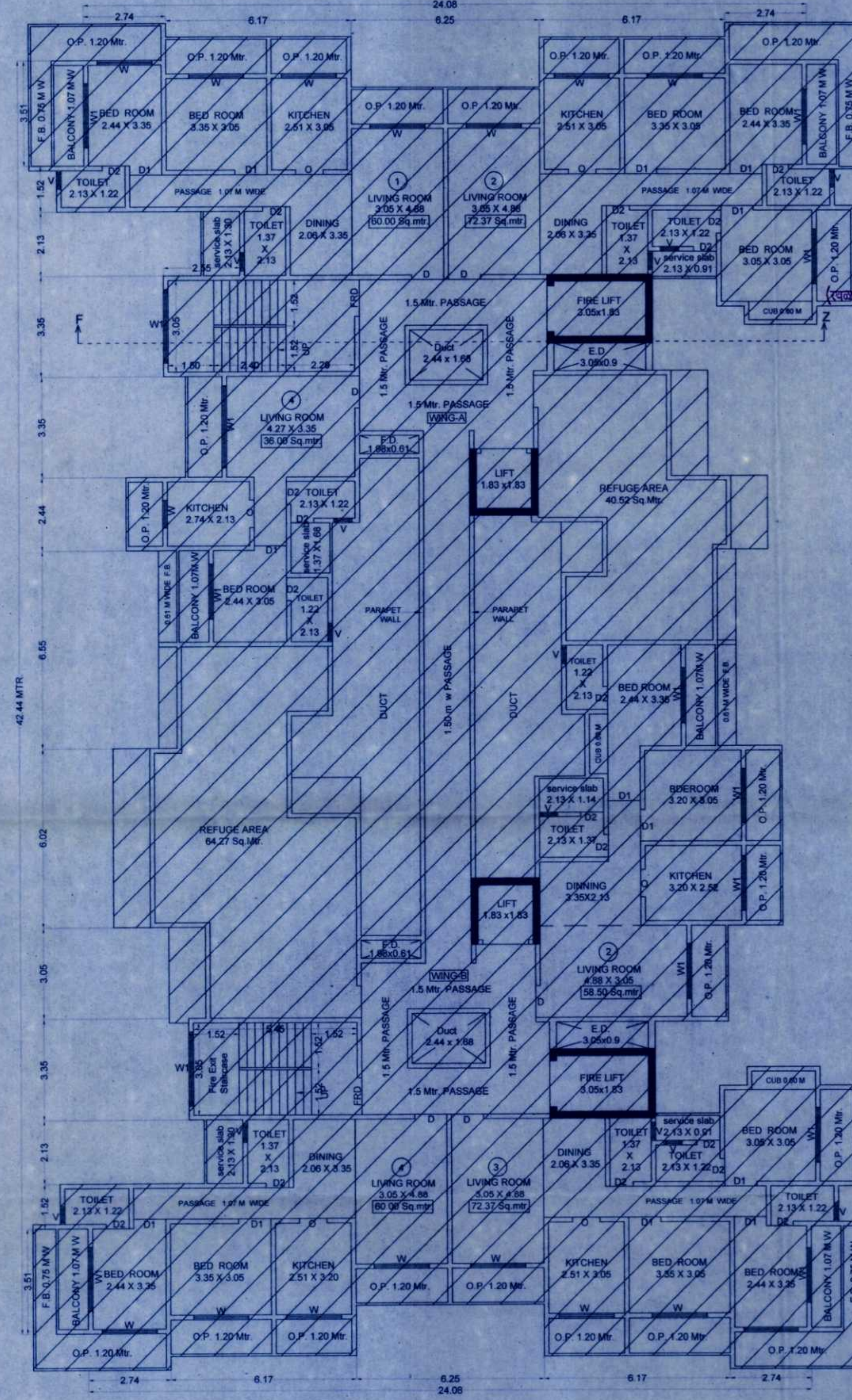
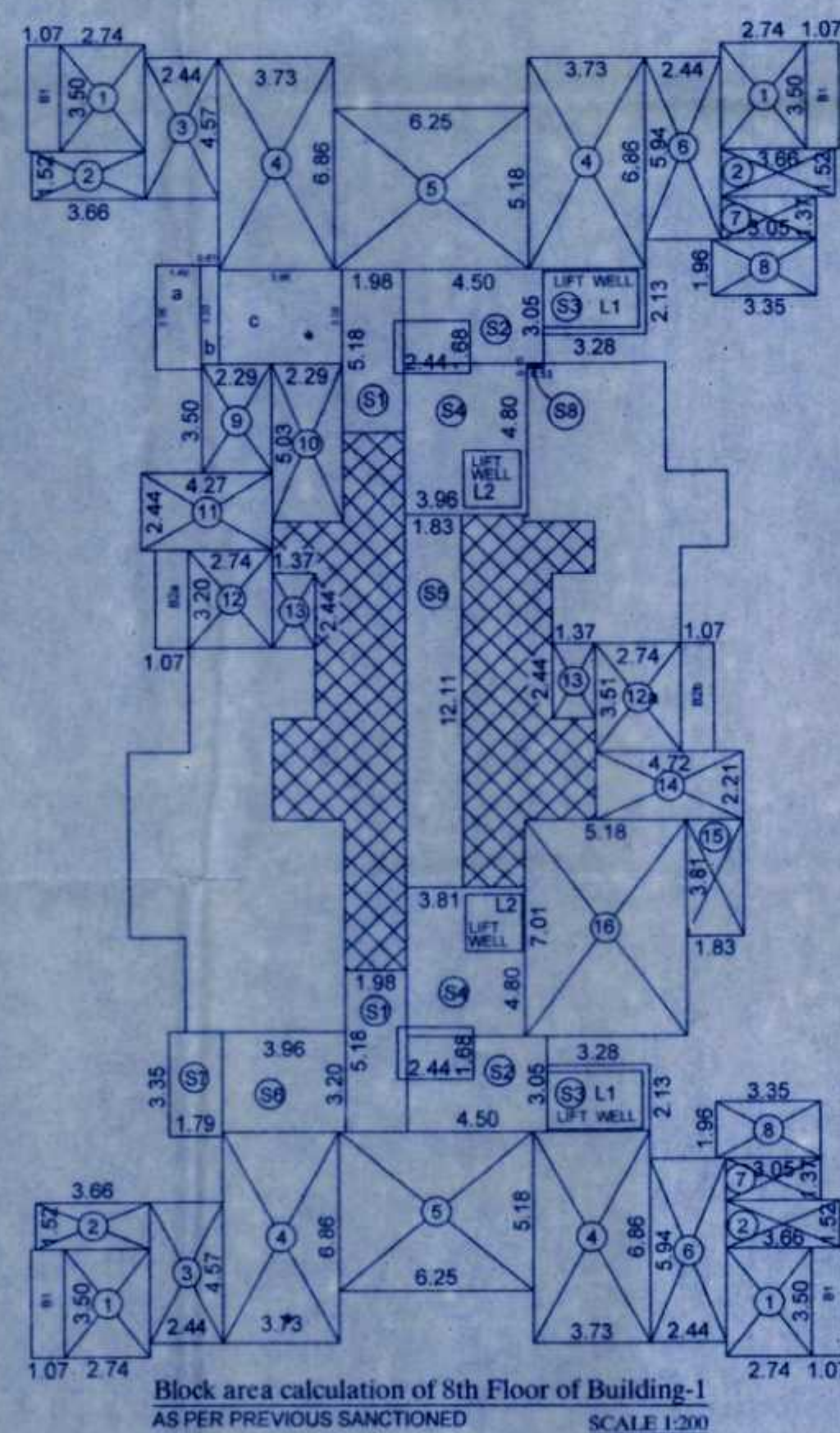


4TH TO 7TH FLOOR PLAN OF BUILDING -1
AS PER PREVIOUS SANCTIONED Scale 1:100



Built up area of 4th to 7th floor of bld.-1	
1) 2.74x3.50x4	= 38.36 SMT
2) 3.66x1.52x4	= 22.25 SMT
3) 2.44x4.57x2	= 22.30 SMT
4) 3.73x6.86x4	= 102.35 SMT
5) 6.25x5.18x2	= 64.75 SMT
6) 2.44x5.94x2	= 28.98 SMT
7) 3.05x1.37x2	= 8.35 SMT
8) 3.35x1.96x2	= 13.13 SMT
9) 2.29x3.50x1	= 8.01 SMT
10) 2.29x5.03x1	= 11.51 SMT
11) 4.27x2.44x1	= 10.41 SMT
12) 2.74x3.20x1	= 8.76 SMT
12a) 2.74x3.51x1	= 9.51 SMT
13) 1.37x2.44x2	= 6.68 SMT
14) 4.72x2.21x1	= 10.43 SMT
15) 1.83x3.81x1	= 6.97 SMT
16) 5.18x7.01x1	= 36.31 SMT
NET BUILT UP AREA	= 409.18 SMT
Balcony area calculation (4th floor)	
BALC. 1)-1.07x3.50x4	= 14.96 SMT
BALC. 2a)-3.20x1.07x1	= 3.42 SMT
BALC. 2b)-3.51x1.07x1	= 3.75 SMT
TOTAL AREA	= 22.15 SMT
Staircase & Passage area	
S1) 1.98 x 5.18 x 2	= 20.51 SMT
S2) 4.50 x 3.05 x 2	= 27.45 SMT
S3) 3.28 x 2.13 x 2	= 13.97 SMT
S4) 3.81 x 4.80 x 2	= 36.57 SMT
S5) 1.83 x 12.11 x 1	= 22.16 SMT
S6) 3.96 x 3.20 x 1	= 12.67 SMT
S7) 1.79 x 3.35 x 1	= 5.99 SMT
S8) 0.53 x 0.15 x 1	= 0.07 SMT
TOTAL AREA	= 140.83 SMT
DEDUCTION	
L) 2.44x1.88x2	= 8.19 SMT
L1) 3.05x1.83x2	= 11.16 SMT
L2) 1.83x1.83x2	= 6.69 SMT
TOTAL DEDUCTION	= 26.04 SMT
NET AREA AFTER DEDUCTION	
= 140.83-26.04 = 114.79 SMT	
FIRE EXIT STAIRCASE AREA	
a) 1.49x3.35x1	= 4.99 SMT
b) 0.61x3.20x1	= 1.95 SMT
c) 3.96x3.05x1	= 12.07 SMT
TOTAL AREA	= 19.01 SMT

Built up area (8th floor)	
1) 2.74x3.50x4	= 38.36 SMT
2) 3.66x1.52x4	= 22.25 SMT
3) 2.44x4.57x2	= 22.30 SMT
4) 3.73x6.86x4	= 102.35 SMT
5) 6.25x5.18x2	= 64.75 SMT
6) 2.44x5.94x2	= 28.98 SMT
7) 3.05x1.37x2	= 8.35 SMT
8) 3.35x1.96x2	= 13.13 SMT
9) 2.29x3.50x1	= 8.01 SMT
10) 2.29x5.03x1	= 11.51 SMT
11) 4.27x2.44x1	= 10.41 SMT
12) 2.74x3.20x1	= 8.76 SMT
12a) 2.74x3.51x1	= 9.51 SMT
13) 1.37x2.44x2	= 6.68 SMT
14) 4.72x2.21x1	= 10.43 SMT
15) 1.83x3.81x1	= 6.97 SMT
16) 5.18x7.01x1	= 36.31 SMT
NET BUILT UP AREA	= 409.18 SMT
Balcony area calculation (8th floor)	
BALC. 1)-1.07x3.50x4	= 14.96 SMT
BALC. 2a)-3.20x1.07x1	= 3.42 SMT
BALC. 2b)-3.51x1.07x1	= 3.75 SMT
TOTAL AREA	= 22.15 SMT
Staircase & Passage area	
S1) 1.98 x 5.18 x 2	= 20.51 SMT
S2) 4.50 x 3.05 x 2	= 27.45 SMT
S3) 3.28 x 2.13 x 2	= 13.97 SMT
S4) 3.81 x 4.80 x 2	= 36.57 SMT
S5) 1.83 x 12.11 x 1	= 22.16 SMT
S6) 3.96 x 3.20 x 1	= 12.67 SMT
S7) 1.79 x 3.35 x 1	= 5.99 SMT
S8) 0.53 x 0.15 x 1	= 0.07 SMT
TOTAL AREA	= 140.83 SMT
DEDUCTION	
L) 2.44x1.88x2	= 8.19 SMT
L1) 3.05x1.83x2	= 11.16 SMT
L2) 1.83x1.83x2	= 6.69 SMT
TOTAL DEDUCTION	= 26.04 SMT
NET AREA AFTER DEDUCTION	
= 140.83-26.04 = 114.79 SMT	
FIRE EXIT STAIRCASE AREA	
a) 1.49x3.35x1	= 4.99 SMT
b) 0.61x3.20x1	= 1.95 SMT
c) 3.96x3.05x1	= 12.07 SMT
TOTAL AREA	= 19.01 SMT



8TH FLOOR PLAN OF BUILDING-1
AS PER PREVIOUS SANCTIONED Scale 1:100

APPROVAL STAMP		04/10
CONTENTS OF SHEET		
4TH TO 8TH FLOOR PLAN & BLOCK AREA LINE DIAGRAM OF BUILDING - 1		
सर्वोच्च न्यायालय के आदेश (100) 2022-2023 मा.क.न.र.स. 05/2023 कॉपी नं. 100 व 101 के तहत दुकानें मुहलिया बाने रहस्य के वाणिज्य व व्यवसाय के लिए कॉन्सल्टिंग/सिस्टम परामर्श मंत्रालय य. सहायक (सिस्टम) मंत्रालय महोदय निजामपुर गहर महानगरपालिका		
OWNER'S DECLARATION		
I/We undersigned hereby confirm that I/We would abide by plans approved by Authority / Collector. I/We would execute the structure as per approved plans. Also I/We would execute the work under supervision of proper technical person so as to ensure the quality and safety at the work site.		
1) HASEEB SHARIF HASAN MOMIN (OWNER) <i>Haseeb</i> 2) MUSAB SHARIF HASAN MOMIN <i>Musab</i> 3) TALHA SHARIF HASAN MOMIN <i>Talha</i> 4) M/S. MOONSHINE REALTORS PVT. LTD. THROUGH DIRECTOR SHAHIL HANIF HINGORAP (A HOLDER) <i>Shahil</i>		
PROPERTY DISCRIPTION		
REVISED PLAN OF PROPOSED BUILDING - 01 (G+2 COMMERCIAL + UPPER 3RD TO 17TH RESIDENTIAL FLOORS) & BUILDING - 02 (STILT + UPPER 19 RESIDENTIAL FLOORS) ON LAND BEARING S.NO. 322, 382, 363, 370, 380, 124, 740, 134(A/P), 134(B), 134 & 144 4037(P) & 4039(P), PLOT NO. 14, 15, 19, 20, 21, 22, 23 & 24 AT: MILLAT NAGAR, VILLAGE: NIZAMPUR, TALUKA-BHIWANDI, DIST.-THANE 421302.		
LICENSING ENGINEER NAME AND SIGNATURE		
Fouzi & Associates		
ARCHITECT & R.C.C. CONSULTANT		
OFFICE NO. 101/102, FIRST FLOOR, KOKARK ARCADE, OPP. TASHILDAR OFFICE, BESIDE NEW MUNICIPAL CORPORATION, BHIWANDI		
E-mail: fouzandassociates@gmail.com		
DRN	CKD	SCALE
SHOE A	FAHAD P.	1:100
DATE	JOB NO	DRG NO
07/01/2023	J-205	4TH REVISION