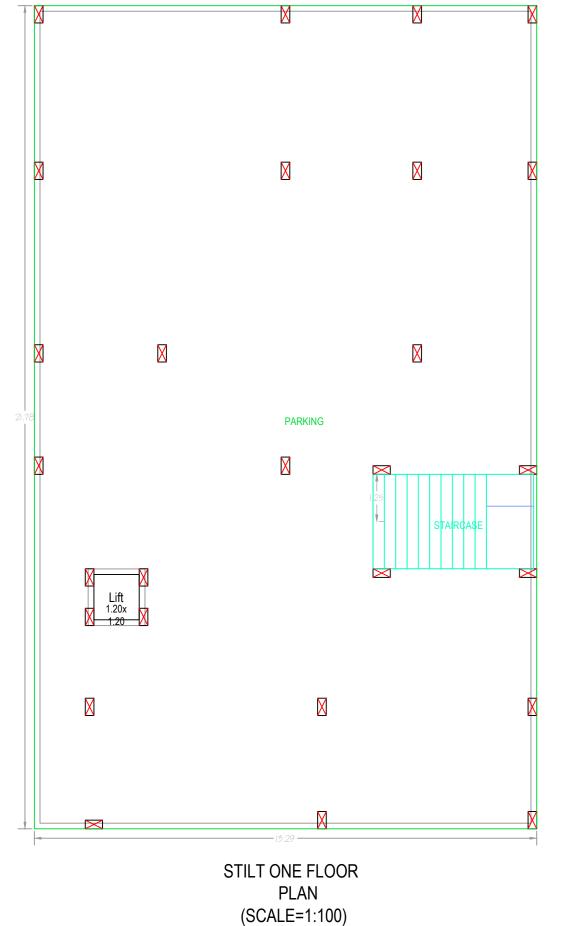


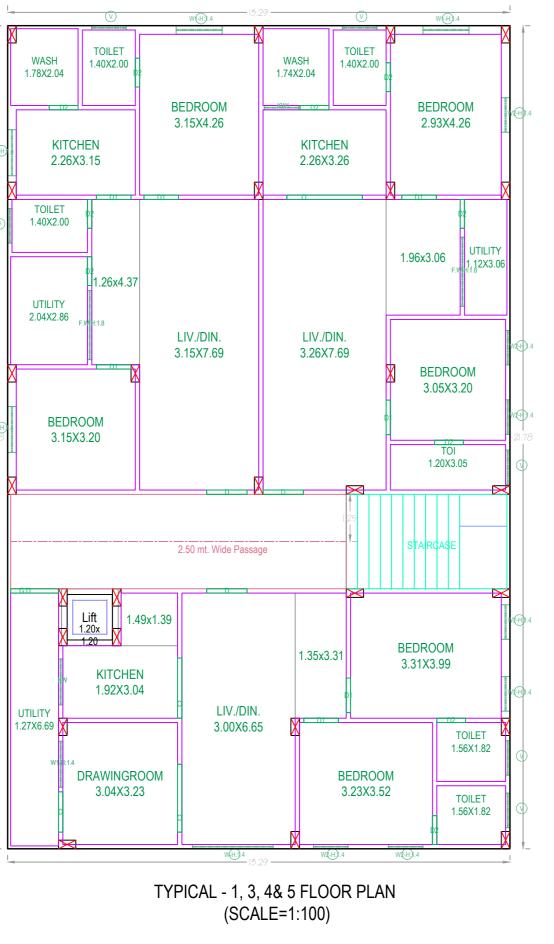


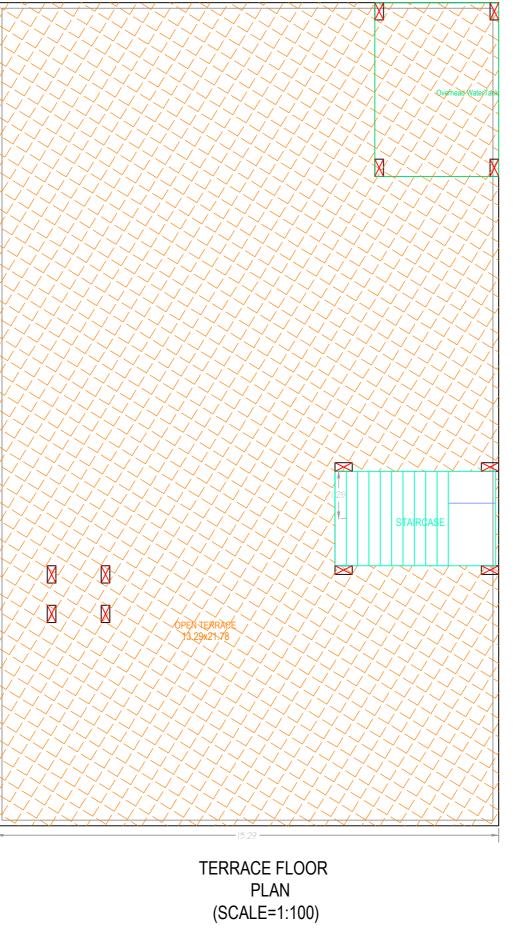
SURVEY NO SITUATED AT BELONGING TO : Mr./Ms./Mrs REP BY: MR NAGARJUNA LICENCE NO: 383/STRL.ENGG/GHMC/20P19PR2012AL NO: DATE: 22-10-2021 SHEET NO.: 1/2 INWARD_NO.: TS/051359/2021 Layout Plan Details AREA STATEMENT PROJECT DETAIL INWARD_NO: TS/051359/2021 PROJECT TYPE : **Building Permission** NATURE OF DEVELOPMENT : Gram Panchayat Area with Revenue Survey SUB LOCATION : STREET NAME: DISTRICT NAME : STATE NAME : TELANGANA PINCODE : MADAL : PLOT USE : Residential Apartment Bldg PLOT SUB USE : PLOT NEAR BY NOTIFIED RELEGIOUS STRUCTURE : LAND USE ZONE : LAND SUBUSE ZONE : ABUTTING ROAD WIDTH: PLOT NO: SURVEY NO: NORTH SIDE DETAIL SOUTH SIDE DETAIL: EAST SIDE DETAIL : WEST SIDE DETAIL : AREA DETAILS : SQ.MT AREA OF PLOT (Minimum) 498.89 NET AREA OF PLOT 498.89 VACANT PLOT AREA 209.48 COVERAGE PROPOSED COVERAGE AREA (58.01 %) 289.41 NET BUA RESIDENTIAL NET BUA 1447.05 BUILT UP AREA 1474.18 1751.48 MORTGAGE AREA 146.14 EXTRA INSTALLMENT MORTGAGE AREA PROPOSED NUMBER OF PARKINGS

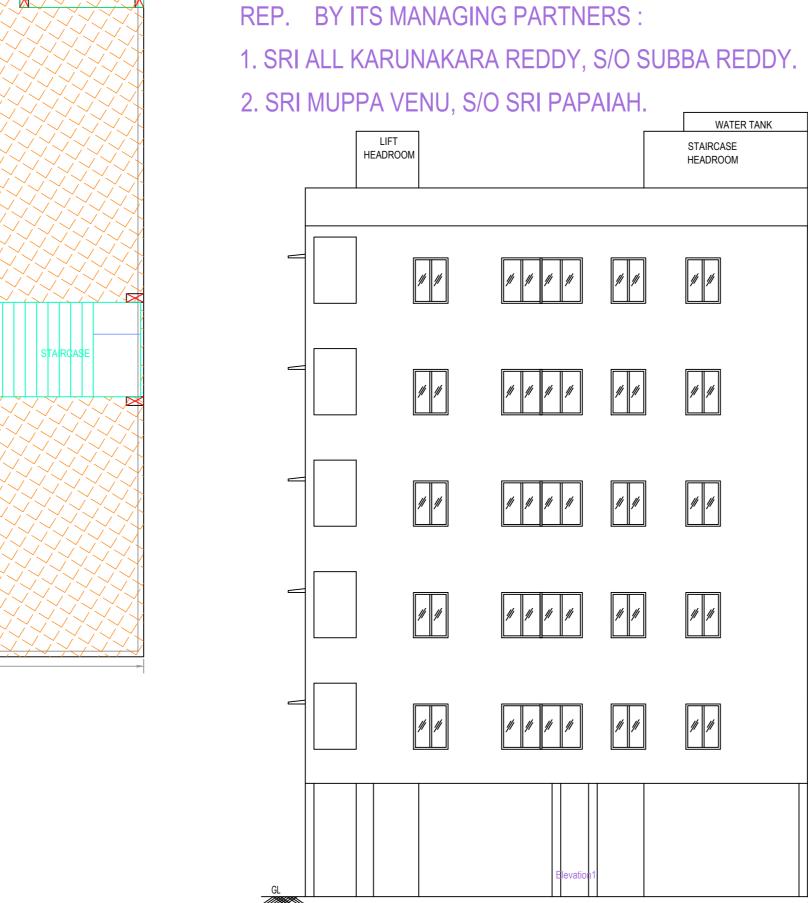
PLAN SHOWING THE PROPOSED

PLOT NO.









TELANGANA STATE.

BELONGING TO: "SVC & G G BUILDERS"

Project Title: PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL APARTMENT ON OPEN PLOT NO.5, IN SY.NO.149,

SITUATED AT KUNDANPALLY VILLAGE, UNDER DAMMAIGUDA MUNICIPALITY, KEESARA MANDAL, MEDCHAL - MALKAJGIRI DT.,

1 TECHNICAL APPROVAL IS HERE BY ACCORDED FOR ___ <<REs/Comm/others>> Building ___ << floors>> in of plot nos. __ Sy. No: __ situated at in ___ Village & __ Mandal, __ District in proceeding letter subject to conditions mentioned on Approved Plan Vide No. __ Dt: __ .

2 All the conditions imposed in Lr. No. __ Dt: __ .

2 All the conditions imposed in Lr. No. __ Dt: __ .

3 The applicant shall construct the Building as per Sanctioned Plan if any deviations made in setbacks, the 10.00 % mortgaged Built Up Area forfeited, the technical approved building plans will be withdrawn and cancelled without notice and action will be taken as per law.

4 The Cellar/Stilt floor shall be used for parking purpose only and should not be used for any other purposes as per the G.O.Ms.No. 168 MA Dt: 07-04-2012 and its ammendments.

5 The Builder/Developer should construct sump, septic tank and underground drainage as per ISI standards. In addition to the drainage system available.

6 That the applicant shall comply the conditions laid down in the G.O.Ms.No. 168 MA Dt: 07-04-2012 and its Amended Government Orders.

7 This permission does not bar any public agency including HMDA/Local Body to acquire the lands for public purpose as per Law.

8 The Builder/Developer/Owner shall be responsible and ensure that the fire safety, structural stability requirements of the proposed complex are in accordance with the A.P Fire Services Act — 1999.

9 Automatic Sprinkler system is to be provided if the basement area exceeds 200 Sq. Mtrs Electrical wiring and installation shall be certified by the electrical engineers to Ensure electrical fire safety.

10 Transformers shall be provided with 4 hours Rating fire resistant constructions as per Rule 15 (e) of A.P Apartments (Promotion of constructions and ownership) rules, 1987.

11 If any litigations/discrepancy arises in future regarding ownership documents, the applicant is whole responsible and not made party to HMDA or its employees and plans deemed to be withdrawn and cancelled.

12 The HMWS and SB and T.S. Transco not to provide the permanent connection till to produce the occupancy certificate from the Sanctioning Authority.

13 If in case above said conditions are not adhered HMDA/Local Authority can withdraw the said permission.

14 If any cases are pending in court of law with regard to the site U/R and have adverse orders, the permission granted shall be deemed to be withdrawn and cancelled.

15 The applicant/ developer is the whole responsible if any loss of human life or any damage occurs while constructing the building and after construction of building and have no rights to claim to HMDA and its employees shall not be held as a party to any such dispute/ litigations.

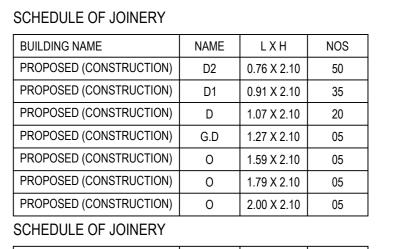
16 The HMDA reserve the right to cancel the permission, if it is found that the permission is obtained by false statement

or misinterpretation or suppression of any material facts or rule.

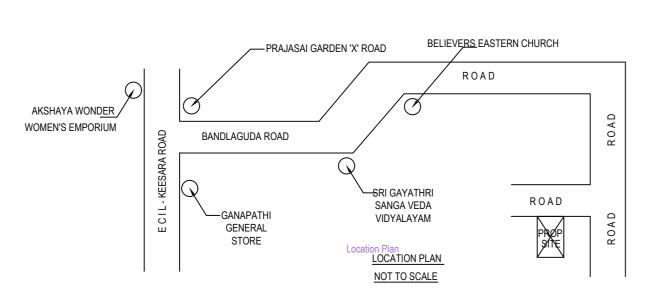


COLOR	INDEX				
1	BOUNDARY				ı
1	ING ROAD				!
	OSED CONSTRUCTION ON PLOT	N			l
	WIDENING AREA				
	NG (To be retained)				i
	NG (To be demolished)				
OWNE	R'S NAME AND SI	GNATURE			
BUILDE	ER'S NAME AND S	IGNATURE			
ARCHI	TECT'S NAME AND	O SIGNATURE			
STRUC	TURAL ENGINEE	R'S NAME AND	SIGNATURE		

FLOOR NAME	TOTAL BUA	NET BUA	TNMTS.	PARKING AREA	NO OF STACK	NET PAR
FLOOR NAIVIE		RESI.				
STILT ONE FLOOR	289.37	0.00	00	277.30	1	277
FIRST FLOOR	289.41	289.41	03	0.00	0	0.0
SECOND FLOOR	289.41	289.41	03	0.00	0	0.
THIRD FLOOR	289.41	289.41	03	0.00	0	0.0
FOURTH FLOOR	289.41	289.41	03	0.00	0	0.
FIFTH FLOOR	289.41	289.41	03	0.00	0	0.
TERRACE FLOOR	15.06	0.00	00	0.00	0	0.
TOTAL	1751.48	1447.05	15	277.30		277
TOTAL NO OF BLDG	1					
TOTAL	1751.48	1447.05	15	277.30		277



SCHEDULE OF JOINERY			
BUILDING NAME	NAME	LXH	NOS
PROPOSED (CONSTRUCTION)	V	0.91 X 0.60	30
PROPOSED (CONSTRUCTION)	KW1	0.91 X 1.10	05
PROPOSED (CONSTRUCTION)	W2	0.91 X 1.37	35
PROPOSED (CONSTRUCTION)	KW	1.22 X 1.00	05
PROPOSED (CONSTRUCTION)	W1	1.22 X 1.37	20
PROPOSED (CONSTRUCTION)	F.W	1.83 X 2.10	10
PROPOSED (CONSTRUCTION)	W	2.13 X 1.37	05



BUILDING USE/SUBUSE DETAILS							
	BUILDING NAME	BUILDING USE	BUILDING SUBUSE	BUILDING TYPE	FLOOR DETAILS		
	PROPOSED (CONSTRUCTION)	Residential	Residential Apartment Bldg	NA	1 Stilt + 5 upper floors		

Project Title: PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL APARTMENT ON OPEN PLOT NO.5, IN SY.NO.149, SITUATED AT KUNDANPALLY VILLAGE, UNDER DAMMAIGUDA MUNICIPALITY, KEESARA MANDAL, MEDCHAL - MALKAJGIRI DT., TELANGANA STATE. REP BY: BELONGING TO: "SVC & G G BUILDERS" REP. BY ITS MANAGING PARTNERS: Building Plan Details 1. SRI ALL KARUNAKARA REDDY, S/O SUBBA REDDY. 2. SRI MUPPA VENU, S/O SRI PAPAIAH.

Project Title

PLAN SHOWING THE PROPOSED
PLOT NO.
SURVEY NO
SITUATED AT , BELONGING TO : Mr./Ms./Mrs

MR NAGARJUNA LICENCE NO: 383/STRL.ENGG/GHMC/24PPPRZOY2AL NO: SHEET NO.: 2 / 2 INWARD_NO.: TS/051359/2021 DATE: 22-10-2021

OWNER'S NAME AND SIGNATURE

BUILDER'S NAME AND SIGNATURE

ARCHITECT'S NAME AND SIGNATURE

STRUCTURAL ENGINEER'S NAME AND SIGNATURE