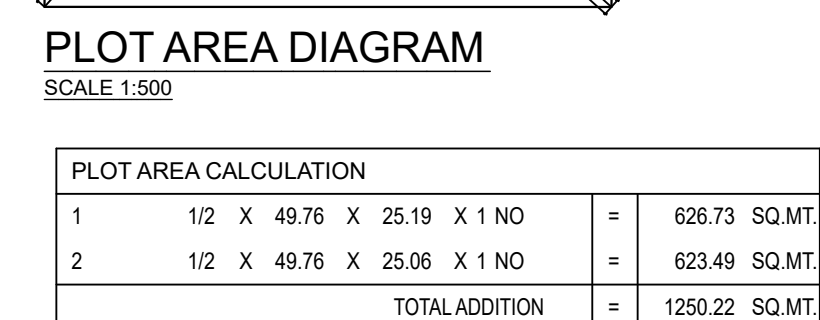
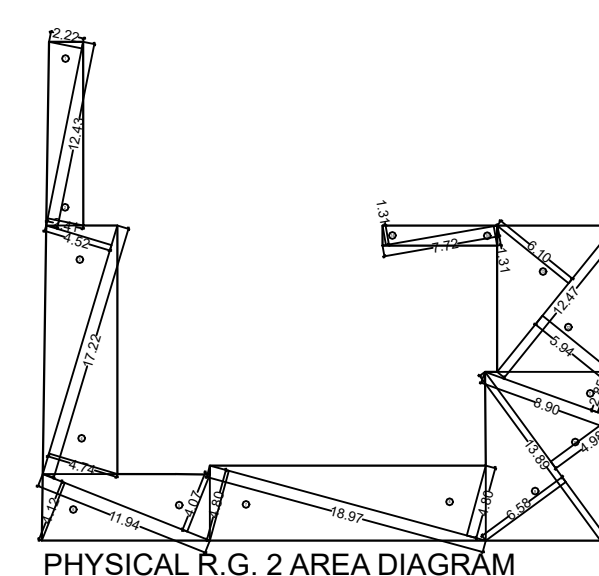




LAYOUT PLOT AREA		1/2" X 3/8"		3/4" X 1/2"	
1	10 X 25.10 X 25.10 X 1.0			584.66	SQ.MT.
2	10 X 25.91 X 8.86 X 1.0			110.42	SQ.MT.
3	10 X 25.93 X 14.51 X 1.0			49.80	SQ.MT.
4	10 X 73.35 X 4.30 X 1.0			160.64	SQ.MT.
5	10 X 73.35 X 14.56 X 1.0			534.64	SQ.MT.
6	10 X 59.57 X 3.00 X 1.0			114.99	SQ.MT.
7	10 X 56.31 X 8.86 X 1.0			252.27	SQ.MT.
8	10 X 82.00 X 4.06 X 1.0			106.71	SQ.MT.
9	10 X 54.42 X 9.71 X 1.0			264.21	SQ.MT.
10	10 X 54.42 X 2.34 X 1.0			63.67	SQ.MT.
11	10 X 53.33 X 3.06 X 1.0			106.59	SQ.MT.
12	10 X 82.95 X 16.12 X 1.0			506.65	SQ.MT.
13	10 X 21.23 X 1.72 X 1.0			18.26	SQ.MT.
14	10 X 82.89 X 4.02 X 1.0			126.35	SQ.MT.
15	10 X 60.11 X 5.60 X 1.0			168.31	SQ.MT.
16	10 X 104.02 X 3.35 X 1.0			109.08	SQ.MT.
17	10 X 81.91 X 1.00 X 1.0			81.91	SQ.MT.
18	10 X 77.11 X 3.38 X 1.0			91.20	SQ.MT.
19	10 X 44.22 X 33.56 X 1.0			521.35	SQ.MT.
TOTAL ADDITION				4425.07	SQ.MT.



R.1 AREA CALCULATION									
R.1									
1	12	X	36.66	X	11.81	X	NO	=	214.50 SQ.M
2	12	X	36.67	X	11.81	X	NO	=	214.61 SQ.M
TOTAL ADDITION									= 429.16 SQ.M

R.2 AREA CALCULATION									
R.2									
1	12	X	12.43	X	2.22	X	NO	=	13.89 SQ.M
2	12	X	12.43	X	2.41	X	NO	=	14.98 SQ.M
3	12	X	17.22	X	4.52	X	NO	=	35.92 SQ.M
4	12	X	17.22	X	4.74	X	NO	=	40.81 SQ.M
5	12	X	11.94	X	4.07	X	NO	=	24.06 SQ.M
6	12	X	11.94	X	4.30	X	NO	=	24.60 SQ.M
7	12	X	10.17	X	3.50	X	NO	=	19.10 SQ.M
8	12	X	10.17	X	4.00	X	NO	=	45.55 SQ.M
9	12	X	13.89	X	6.56	X	NO	=	45.70 SQ.M
10	12	X	13.89	X	4.96	X	NO	=	34.99 SQ.M
11	12	X	8.90	X	2.95	X	NO	=	12.08 SQ.M
12	12	X	12.47	X	5.94	X	NO	=	37.04 SQ.M
13	12	X	12.47	X	6.10	X	NO	=	38.50 SQ.M
14	12	X	7.73	X	2.71	X	NO	=	25.06 SQ.M
TOTAL ADDITION									= 378.10 SQ.M

R.G. AREA CALCULATION
R.G. REQ. = 4274.00 X 20% = 854.80 SQ.M
R.G. PROPOSED = 855.78 SQ.MT.
R.G. 1 PROPOSED = 429.16 SQ.MT.
R.G. 2 PROPOSED = 426.62 SQ.MT.
TOTAL R.G. PROPOSED = 855.78 SQ.MT.

PROFORMA - "A"		FILE NO. - CHE/ES/0547/M/W/337(NEW)	1/5
A	AREA STATEMENT		SQ. MT.
1	AREA OF PLOT (AS PER P.R.C.)		1250.00
(a)	AREA OF RESERVATION		---
(b)	AREA ROAD SET BACK		---
(c)	AREA OF D.P. ROAD		---
2	DEDUCTION FOR		
A	FOR RESERVATION ROAD AREA		
(a)	SET BACK AREA AS PER DCPR 16		---
(b)	DP ROAD AREAS PER DCPR 16		---
(c)	ANY RESERVATION AREAS PER DCPR 17		---
	TOTAL OF 2A		---
B	FOR AMENITY AREA		
(a)	AMENITY AREAS PER DCPR 14(A) 1250.00 X 5% = 62.50 SQ.MT		62.50
(b)	AMENITY AREAS PER DCPR 14(B)		---
(c)	AMENITY AREAS PER DCPR 15		---
(d)	AMENITY AREAS PER DCPR 35		---
	TOTAL OF 2B		62.50
C	DEDUCTION FOR EXISTING BUA TO BE RETAINED		
(a)	LAND COMPONENT OF THE SAME		---
	TOTAL OF 2C		---
3	TOTAL DEDUCTION (TOTAL OF 2A+2B+2C)		62.50
4	BALANCE AREA OF THE PLOT[1-3]		1187.50
5	NET PLOT AREA OF DEVELOPMENT [4]		1187.50
6	ZONAL BASIC F.S.I		1.00
7	ADDITIONS FOR FLOOR SPACE INDEX		
2 (a)	100 % FOR D.P.ROAD		---
2 (b)	100 % FOR SET-BACK		---
8	PERMISSIBLE BUAS PER ZONAL BASIC F.S.I [5x6]		1187.50
9	ADD. BUAS PER OF LAND HANDED OVER AS PER 2A		---
10	BUA IN LIEU OF BUILT UP AMENITY HANDED OVER		---
11	ADDITIONAL 50% F.S.I i.e 1187.50 X 50% = 593.75 SQ.MT.		593.75
12	PERMISSIBLE TOTAL 50% 1187.50 X 0.50 = 593.75 SQ.MT. 1.20% OF SLUM TWR UTILISED = 118.75SQ.MT SLUM TWR ALREADY UTILIZED ON PLOT = _____ GENERAL TWR TO BE UTILIZED ON PLOT = _____		593.75
i) DRC NO.8RA/422/Cont-1 AREA PROPOSED TO BE DEDUCTED FROM DRC = 307.97sq.mt AREA PROPOSED TO BE UTILISED ON PROJECT AS PER INDENTATION = 118.45 sq.mt		ii) DRC NO. ROAD/045/2023 AREA PROPOSED TO BE DEDUCTED FROM DRC = 39.47sq.mt AREA PROPOSED TO BE UTILIZED ON PROJECT AS PER INDENTATION = 448.50 sq.mt	
iii) DRC NO.008824R AREA PROPOSED TO BE DEDUCTED FROM DRC = 39.08sq.mt AREA PROPOSED TO BE UTILIZED ON PROJECT AS PER INDENTATION = 26.71 sq.mt			
13	PERMISSIBLE BUA		2375.00
14	TOTAL BUA AREA PROPOSED		2375.00
15	FSI CONSUMED ON NET HOLDING14/4		2.00
16	FUNGIBLE BUA		
	FUNGIBLE BUILTUP AREA COMPONENT PROPOSED VIDE DCPR 31(3)		
(a)	FOR PURELY RESIDENTIAL - 2375.00 X 35% (PERMISSIBLE)		831.25
(b)	FOR PURELY RESIDENTIAL - (PROPOSED)		831.20
(c)	PERMISSIBLE BUILDABLE AREA WITHOUT CHARGING PREMIUM		146.47
(d)	PROPOSED BUILDABLE AREA WITHOUT CHARGING PREMIUM		146.47
(e)	PERMISSIBLE BUILDABLE AREA BY CHARGING PREMIUM		654.78
(f)	PROPOSED FUNGIBLE BY CHARGING PREMIUM		654.78
17	TOTAL BUA PROPOSED INCLUDING FUNGIBLE AREA (14+16b)		3206.20

18	TENEMENT STATEMENT	
(i)	PROPOSED AREA	2375.00
(ii)	LESS DEDUCTION OF NON-RES AREA (SHOP ETC.)	2375.00
(iii)	AREA AVAILABLE FOR TENEMENTS (i) MINUS (ii)	
(iv)	TENEMENTS /PERMISSIBLE (DENSITY OF TENEMENTS/HECTARE)	107
(v)	TENEMENTS PROPOSED	28
(vi)	TENEMENTS EXISTING	12
	TOTAL TENEMENTS ON THE PLOT	40.00

19	PARKING STATEMENT	
	PARKING REQUIRED BY REGULATIONS FOR CAR	48.00
	TOTAL PARKING PROVIDED	48.00

	PROFORMA - "B"
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CONTENTS OF SHEETS

LAYOUT PLAN, LOCATION PLAN, BLOCK PLAN, PLOT AREA
DIAGRAM & AREA CALCULATIONS, RG DIAGRAM & CALCULATION.

APPROVAL OF PLAN

This Cancels Approval to the previous Plans Sanctioned under No. CHE/ES/0547/M/337(NEW) dated. 09/05/2023

Approval Subjected to the conditions mentioned in this office letter No.
CHE/ES/0547/M/337(NEW)

S.E.M-II	A.E.(B.P.M)	E.E.(B.P.) 1

 MUNICIPAL CORPORATION OF
GREATER MUMBAI

DESCRIPTION OF PROPOSAL & PROPERTY

PROPOSED REDEVELOPMENT ON PLOT BEARING
C.T.S. NO. 853(PT), 853/15 TO 22, OF VILLAGE CHEMBUR,
TALUKA- KURLA, KANDHARI COLONY, 2ND ROAD,
CHEMBUR, MUMBAI - 400 071.

NAME OF OWNER

M/S. TATTVA MITTAL
CORPORATION PVT.LTD.

C.A. TO OWNER

NORTH LINE

CERTIFICATE FOR AREA



CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY
ON 22/06/06 AND THE DIMENSIONS OF SIDES ETC. OF PLOT STATED
ON PLAN ARE AS MEASURED ON SITE AND THE AREA SO WORKED
OUT ___ TALLIES WITH THE AREA STATED IN DOCUMENT OWNERSHIP /
T.P. RECORD.

SIGNATURE OF ARCHITECT

JOB NO	DRG NO	SCALE	DATE	DRAWN BY
BMC- AM	01	AS SHOWN	08.08.2023	AR. SIDDHI BARGODE

NAME & ADDRESS OF ARCHITECT

Ketan Vaidya Associates

ARCHITECT, INTERIOR DESIGNER,
203 / B, RAJKAMAL C.H.S., SUBHASH ROAD,
VILE-PARLE (E), MUMBAI-400 057. PH.-022 2612 3470



TABLE NO - II REHAB TENEMENTS STATEMENT																						
SR. NO.	Tenement details in existing building										Permissible Fungible Area (in sq.m)				Total Permissible BUA (in sq.m)				Tenement details of Rehab Tenement		Difference of BUA in sq.m	
	Name of the tenants	Wing	Floor	Residential Non-Residential	Shop Office	Flat nos.	Existing BUA (sq.m)	Flat nos.	Existing BUA (sq.m)	Wing	Floor	Residential Non-Residential	Shop Office	Proposed BUA (sq.m)	Excess Area (+)	Deficient Area (-)						
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)	(12)	(13)	(14)	(15)	(16)	(17)						
1	Mr. K. George Kurian	n/a	R			33.11	11.59	44.70						101	57.36	12.66	0.00					
2	Mrs. Mary Dsouza	n/a	R			50.18	17.55	67.71						403	101.33	33.62	0.00					
3	Mrs. Jaya Gauri	n/a	R			50.18	17.55	67.71						102	79.67	11.96	0.00					
4	Dr. Miss. Smita Nita Borde	n/a	R			33.11	11.59	44.70						401	57.36	12.66	0.00					
5	Mr. Laxmishankar Vira	n/a	R			33.11	11.59	44.70						302	79.67	34.97	0.00					
6	Mr. Abdul Latif Mohammad Mamunji	n/a	R			50.18	17.55	67.71	n/a		n/a			203	101.33	33.62	0.00					
7	Mr. Nishu P. Borde	n/a	R			33.11	11.59	44.70						201	57.36	12.66	0.00					
8	Mr. Nishu P. Borde	n/a	R			50.18	17.55	67.71						202	79.67	11.96	0.00					
9	Mr. Sureshchandra Tatar	n/a	R			33.11	11.59	44.70						503	101.33	56.63	0.00					
10	Mr. Harishankar Tatar	n/a	R			50.18	17.55	67.71						603	101.33	33.62	0.00					
11	Mr. Jyoti Nita Borde	n/a	R			50.18	17.55	67.71						602	79.67	11.96	0.00					
12	Mr. P. V. Shah	n/a	R			33.11	11.59	44.70						301	57.36	12.66	0.00					
TOTAL						499.62	174.84	674.46						353.44	278.08							
Total tenements: R=12 Nos, NR=0 Nos										Total tenements: R=12 Nos, NR=0 Nos												
COMPENSATORY FUNGIBLE F.S.I. FOR REHAB PORTION RESTRICTED UP TO 146.47 SQ.MT FOR RESIDENTIAL USE																						

Detail of BUA statement for existing structure to be retained

BLDG.	AREA
BLDG. NO-1	355.42
BLDG. NO-2	363.36
BLDG. NO-3	338.20
BLDG. NO-4	355.76
BLDG. NO-5	351.77
BLDG. NO-6	349.15
BLDG. NO-8	331.32
GARAGE	37.55
SHOP	57.33
ROOM 1	21.51
ROOM 2 + W.C.	161.95
WATCHMEN CABIN	1.44
TOTAL	2744.76

TABLE SHOWING BUILT-UP AREA :

FLOOR	1 GROSS AREA	2 DEDUCTION STAIRCASE & LIFT AREA	3 RESI PROF. OFFICE	FITNESS CENTER AREA	SOCIETY OFFICE AREA
2ND BASEMENT	-	-	-	-	-
1ST BASEMENT	-	-	-	-	-
STILT	-	-	-	-	-
1ST	300.20	60.39	137.69	17.75	61.52
2ND	299.58	60.52	239.06	-	-
3RD	299.58	60.52	239.06	-	-
4TH	299.58	60.52	239.06	-	-
5TH	299.58	60.52	239.06	-	-
6TH	299.58	60.52	239.06	-	-
7TH	299.58	60.52	239.06	-	-
8TH	299.58	60.52	239.06	-	-
9TH	299.58	60.52	239.06	-	-
10TH	299.58	60.52	239.06	-	-
11TH	299.58	60.52	239.06	-	-
12TH	299.58	60.52	239.06	-	-
13TH	299.58	60.52	239.06	-	-
14TH(PT)	243.41	61.38	182.04	-	-
TOTAL	4138.57	848.01	3186.45	17.75	61.52
			3206.20		

CAR PARKING AREA STATEMENT

AS PER REG 44(2), TABLE 21A, REG 44(6)(a)(ii)

CARPET AREA	NO. OF FLAT	PARKING PERMISSIBLE AS PER D.C. RULE	REQUIRED PARK. / FLAT	PARKING REQUIRED
UP TO 45 SQ.MT	01 NO.	1 PARKING FOR 4 TENAMENT	01/4	0.25 NOS
45 TO 60 SQ.MT	13 NOS	1 PARKING FOR 2 TENAMENT	13/2	6.50 NOS
60 TO 90 SQ.MT	27 NOS	1 PARKING FOR 1 TENAMENT	27/1	27.00 NOS
ABOVE 90 SQ.MT	-	1 PARKING FOR 1/2 TENAMENT	-	-
TOTAL	41 NOS			33.75 NOS
		SAY	34.00 NOS	
10% PARKING FOR VISITORS (34.00 X 10% = 3.40 NOS)		SAY	4.00 NOS	
		TOTAL PARKING REQUIRED		38.00 NOS
		TOTAL PARKING PROPOSED		38.00 NOS
50% ADDITIONAL PARKING SPACES W/O CHARGING PREMIUM (34 X 50% = 17.00 NOS)				17.00 NOS
		50% ADDITIONAL PARKING PROPOSED		10.00 NOS
		TOTAL PARKING PROPOSED(B + C 38.00 + 10.00)		48.00 NOS

BUILDING	PARKING PROVIDED
BASEMENT-2	08
BASEMENT-1	08
GROUND FLOOR	11
TOTAL PARKING	24.50
	48.00

AREA STATEMENT PROPOSED

BUILDING	RESI. BUA
	RES.BUA RES. FUNGIBLE
BUILDING	2375.00
TOTAL	3206.20

PLOT AREA	= 4274.00 SQ.MT
REG. AMENITY AREA 4274.00 X 5%	= 213.70 SQ.MT
PLOT AREA FOR VISHARANTI CHS	= 1250.00 SQ.MT
REG. AMENITY AREA 1250.00 X 5%	= 62.50 SQ.MT
BALANCE AREA	= 1187.50 SQ.MT
2) PERMISSIBLE FLOOR AREA	= 2375.00 SQ.MT
LESS: NET COMMERCIAL BUILTUP AREA	= 2375.00 SQ.MT
NET RESIDENTIAL BUILTUP AREA	= 2375.00 SQ.MT
3) PERMISSIBLE FUNGIBLE FSI ON	
RESIDENTIAL AREA 2375.00 X 35% = 831.25 SQ.MT	
4) TOTAL PERMISSIBLE WITH FUNGIBLE	
FSI ON RESIDENTIAL AREA (2375.00+831.25) = 3206.25 SQ.MT	

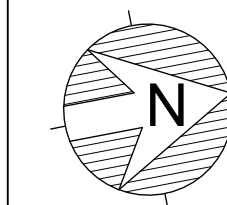
TENEMENT STATEMENT

FLOOR	FLATS	PROF. OFFICE	FITNESS CENTER	SOCIETY OFFICE
STILT	-	-	-	-
1ST FLOOR	02	01	01	01
2ND FLOOR	03	-	-	-
3RD FLOOR	03	-	-	-
4TH FLOOR	03	-	-	-
5TH FLOOR	03	-	-	-
6TH FLOOR	03	-	-	-
7TH FLOOR	03	-	-	-
8TH FLOOR	03	-	-	-
9TH FLOOR	03	-	-	-
10TH FLOOR	03	-	-	-
11TH FLOOR	03	-	-	-
12TH FLOOR	03	-	-	-
13TH FLOOR	03	-	-	-
14TH(PT) FLOOR	02	-	-	-
TOTAL	40	01	01	01



GROUND FLOOR PLAN
SCALE :- 1:100

9.15 WIDE EXISTING ROAD



N

CERTIFICATE FOR AREA

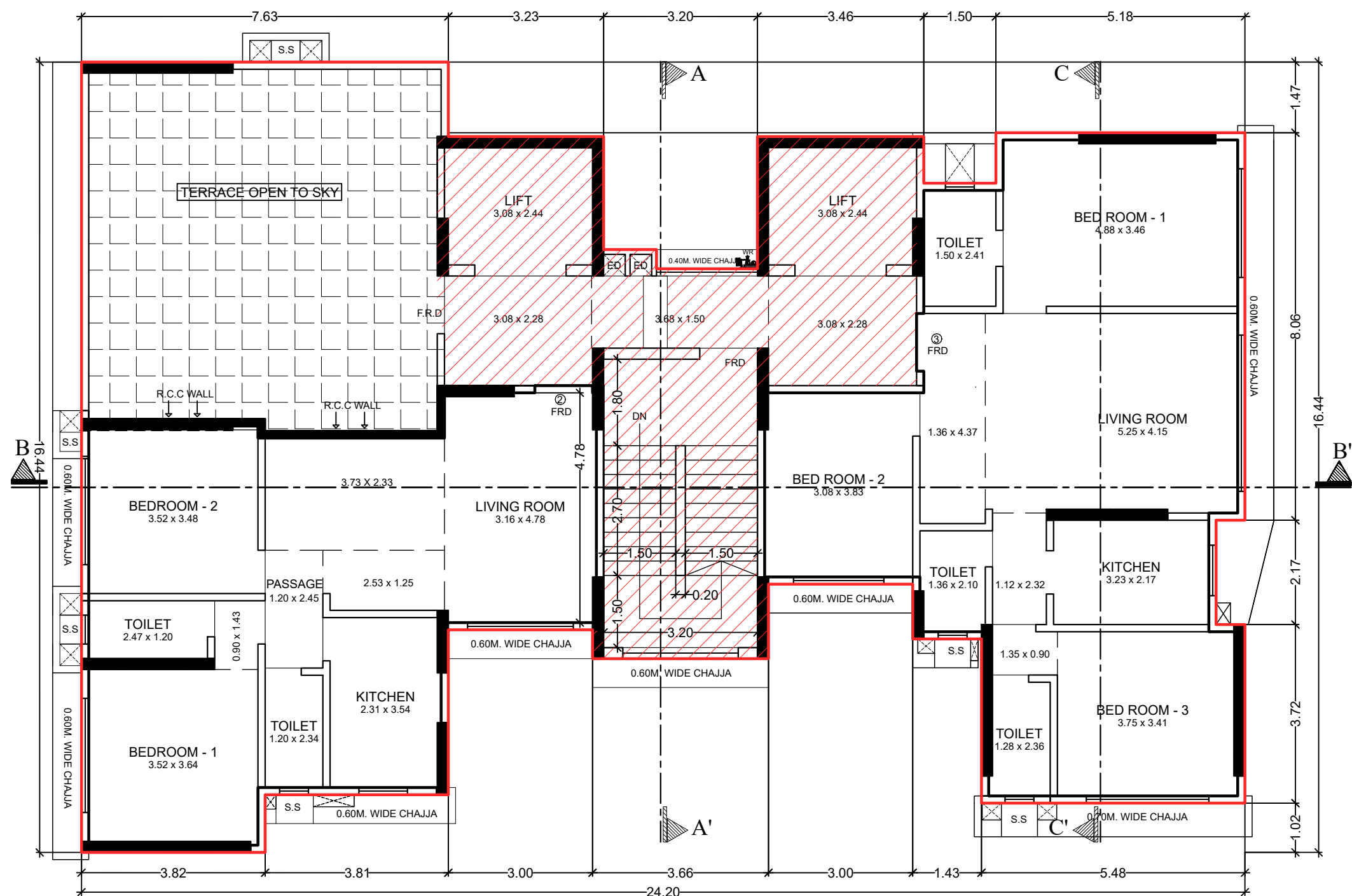
CERTIFIED THAT THE PLOT UNDER REFERENCE WAS SURVEYED BY ON 22/06/2023 AND THE DIMENSIONS OF SIDES ETC. OF PLOT STATED ON PLAN ARE AS MEASURED ON SITE AND THE AREA SO WORKED OUT TALLIES WITH THE AREA STATED IN DOCUMENT OWNERSHIP / T/RECORD.

SIGNATURE OF ARCHITECT

NAME & ADDRESS OF ARCHITECT

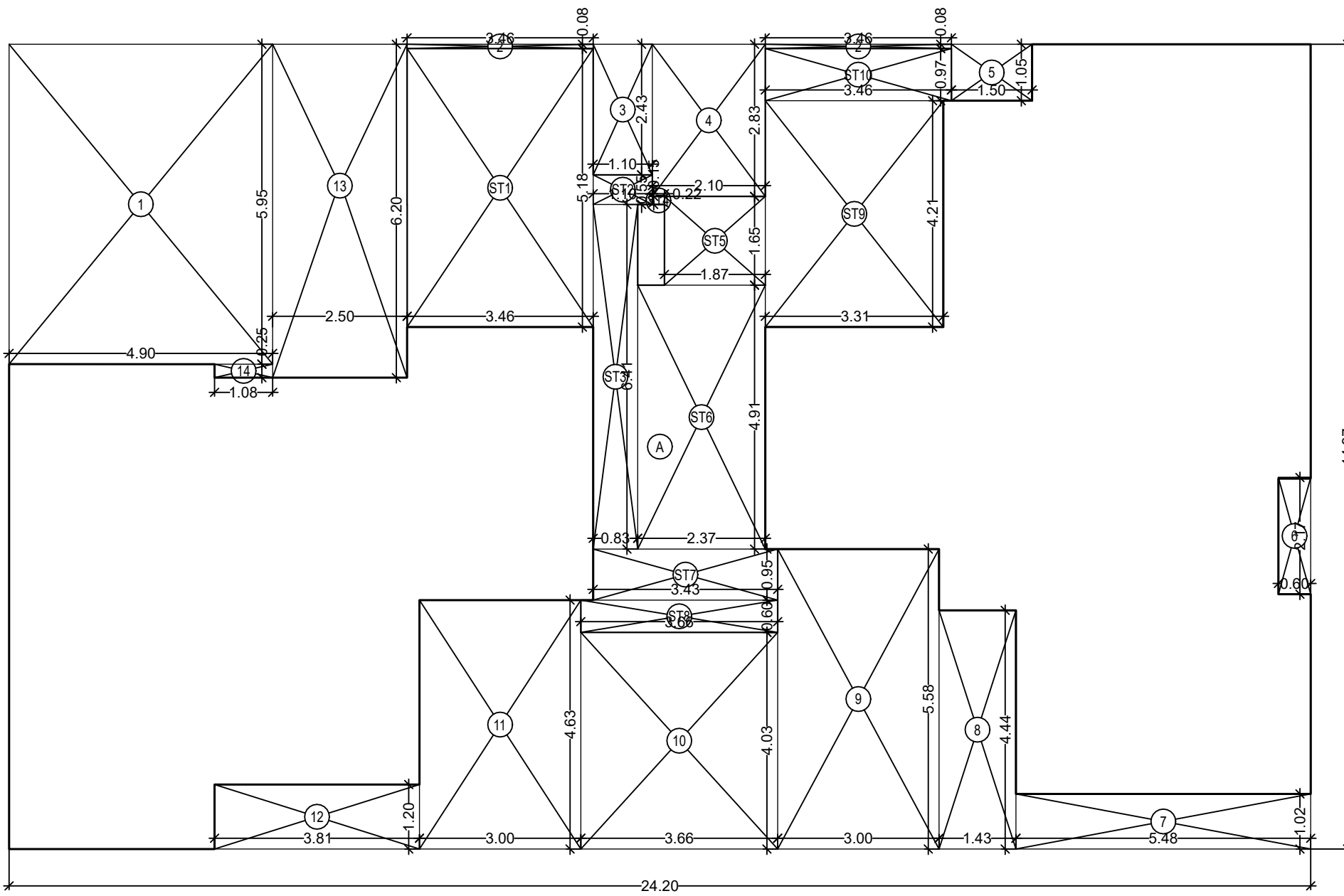
Ketan Vaidya Associates

ARCHITECT, INTERIOR DESIGNER,
203 / B, RAJKAMAL C.H.S., SUBHASH ROAD,
VILE-PARLE (E), MUMBAI-400 057. PH-022 2612 3470



14TH(PT) FLOOR PLAN

SCALE 1:100



14TH(PT) FLOOR AREA DIAGRAM

SCALE 1:100

BUILT UP AREA CALCULATION

14TH FLOOR				
A	24.20	X	14.97	X 1 NO
TOTAL ADDITION				= 362.27 SQ.MT

DEDUCTIONS

1	4.90	X	5.95	X 1 NO
2	3.46	X	0.08	X 2 NOS
3	1.10	X	2.43	X 1 NO
4	2.10	X	2.83	X 1 NO
5	1.50	X	1.05	X 1 NO
6	0.60	X	2.17	X 1 NO
7	5.46	X	1.02	X 1 NO
8	1.43	X	4.44	X 1 NO
9	3.00	X	5.58	X 1 NO
10	3.66	X	4.03	X 1 NO
11	3.00	X	4.63	X 1 NO
12	3.81	X	1.20	X 1 NO
13	2.50	X	6.20	X 1 NO
14	1.08	X	0.25	X 1 NO
TOTAL DEDUCTION				= 118.85 SQ.MT Y1
TOTAL BUILT UP AREA (X - Y1)				= 243.42 SQ.MT X1

STAIRCASE AREA CALCULATION

14TH FLOOR				
ST1	3.46	X	5.18	X 1 NO
ST2	1.10	X	0.55	X 1 NO
ST3	0.83	X	6.41	X 1 NO
ST4	0.23	X	0.15	X 1 NO
ST5	1.88	X	1.65	X 1 NO
ST6	2.37	X	4.91	X 1 NO
ST7	3.43	X	0.95	X 1 NO
ST8	3.66	X	0.60	X 1 NO
ST9	3.31	X	4.21	X 1 NO
ST10	3.46	X	0.97	X 1 NO
TOTAL STAIRCASE AREA PER FL. (14TH FLOOR)				= 61.38 SQ.MT Y2

NET BUILT UP AREA (X1 - Y2)	= 182.04 SQ.MT
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BUILT UP AREA CALCULATION

7TH, 9TH & 11TH & 13TH FLOOR				
A	24.20	X	16.44	X 1 NO
TOTAL ADDITION				= 397.85 SQ.MT X

DEDUCTIONS

1	3.23	X	1.55	X 1 NO
2	1.10	X	3.90	X 1 NO
3	2.10	X	4.30	X 1 NO
4	3.46	X	1.55	X 1 NO
5	1.50	X	2.52	X 1 NO
6	5.18	X	1.47	X 1 NO
7	0.60	X	2.17	X 1 NO
8	5.48	X	1.02	X 1 NO
9	1.43	X	4.44	X 1 NO
10	3.00	X	5.58	X 1 NO
11	3.66	X	1.03	X 1 NO
12	3.00	X	4.63	X 1 NO
13	3.81	X	1.20	X 1 NO
TOTAL DEDUCTION				= 87.29 SQ.MT Y1

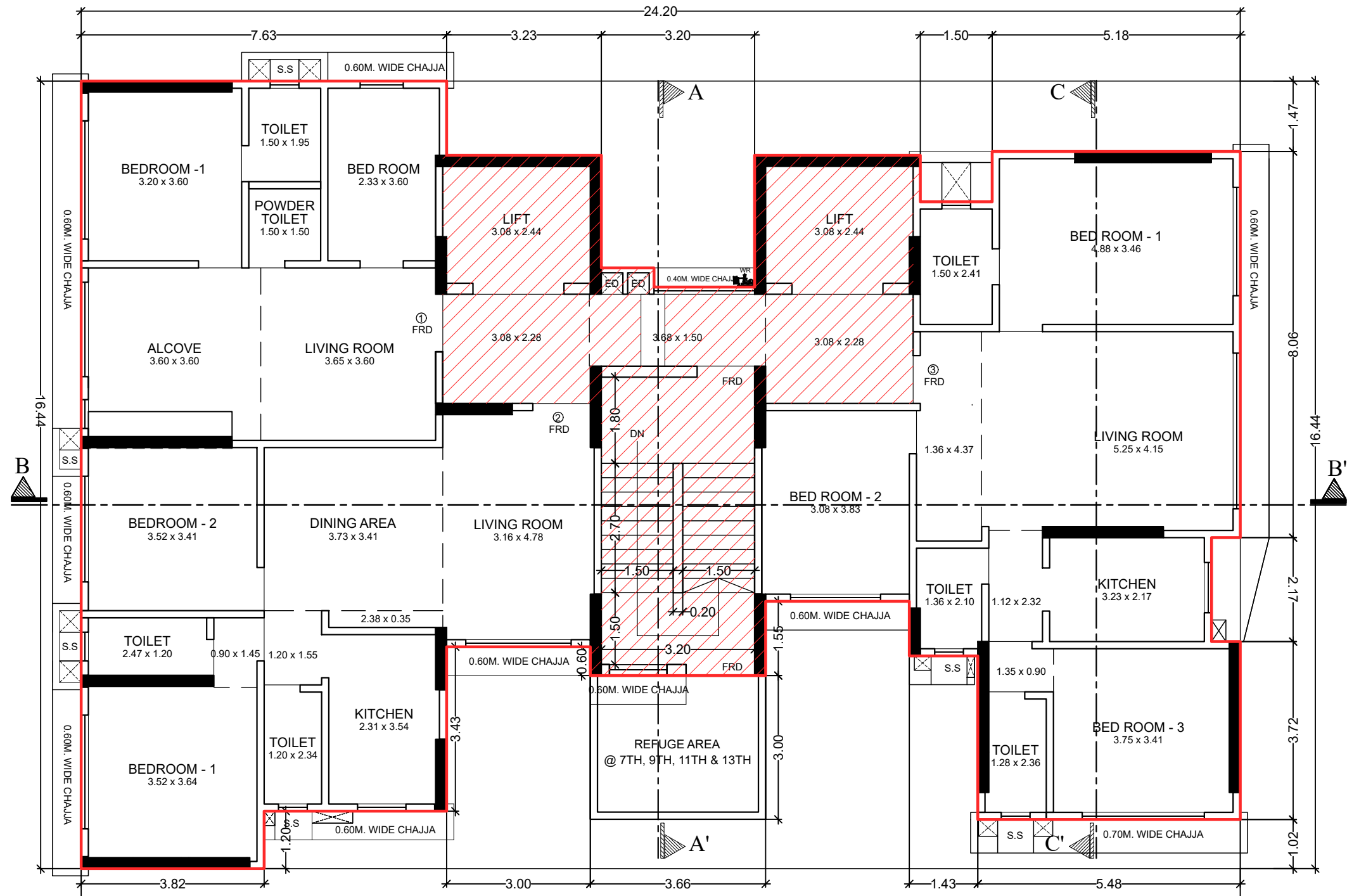
REFUGE AREA CALCULATION

7TH, 9TH & 11TH & 13TH FLOOR				
R1	3.66	X	3.00	X 1 NO
TOTAL REFUGE AREA				= 10.98 SQ.MT Y2
TOTAL BUILT UP AREA (X - (Y1+Y2))				= 299.58 SQ.MT X1

STAIRCASE AREA CALCULATION

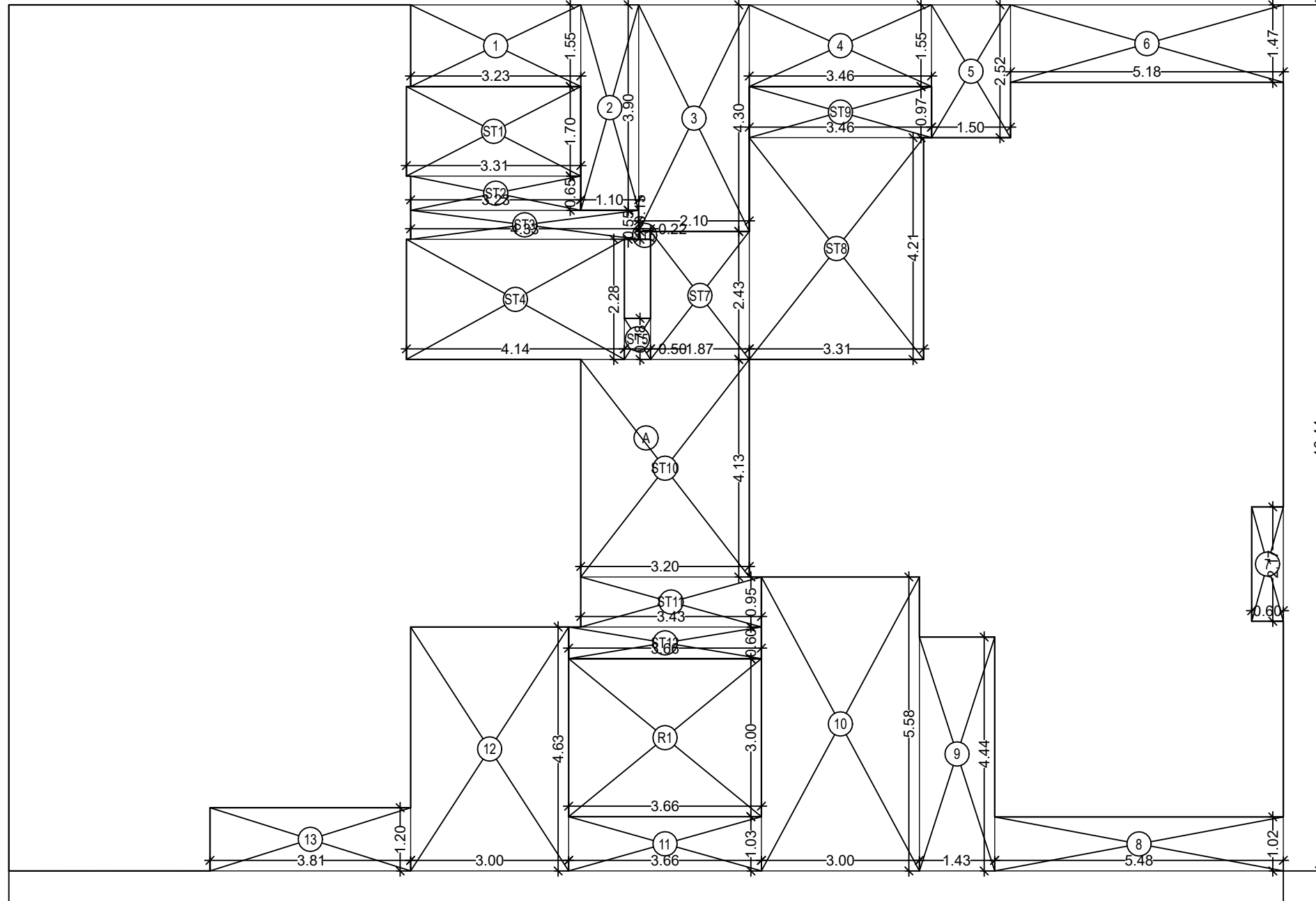
7TH, 9TH & 11TH & 13TH FLOOR				
ST1	3.31	X	1.70	X 1 NO
ST2	3.23	X	0.65	X 1 NO
ST3	4.33	X	0.55	X 1 NO
ST4	4.14	X	2.28	X 1 NO
ST5	0.50	X	0.78	X 1 NO
ST6	0.23	X	0.15	X 1 NO
ST7	1.88	X	2.43	X 1 NO
ST8	3.31	X	4.21	X 1 NO
ST9	3.46	X	0.97	X 1 NO
ST10	3.20	X	4.13	X 1 NO
ST11	3.43	X	0.95	X 1 NO
ST12	3.66	X	0.60	X 1 NO
TOTAL STAIRCASE AREA PER FL. (7TH, 9TH & 11TH & 13TH FLOOR)				= 60.52 SQ.MT Y3

NET BUILT UP AREA (X1 - Y3)	= 239.06 SQ.MT
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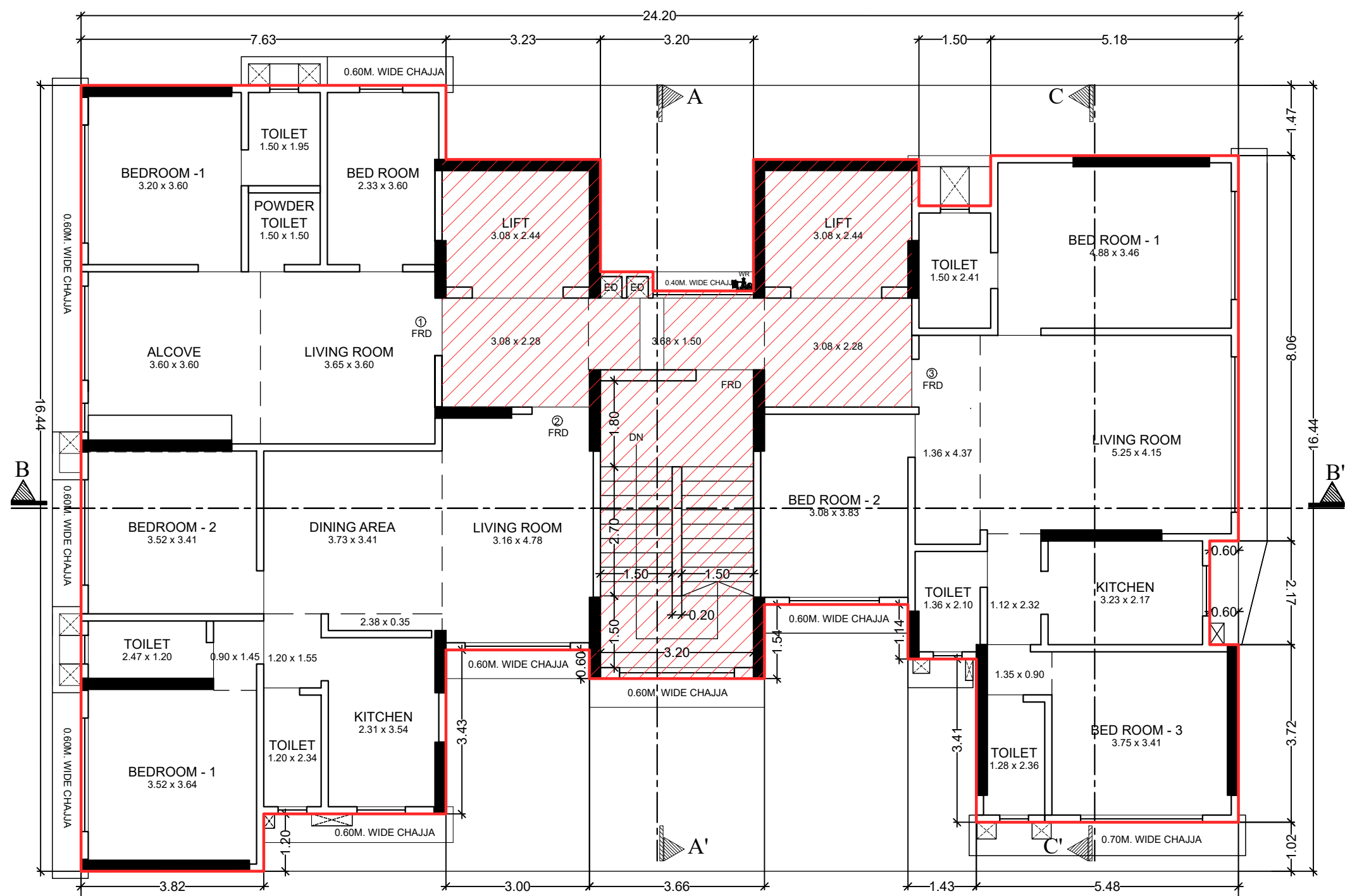
7TH, 9TH, 11TH & 13TH FLOOR PLAN

SCALE 1:100



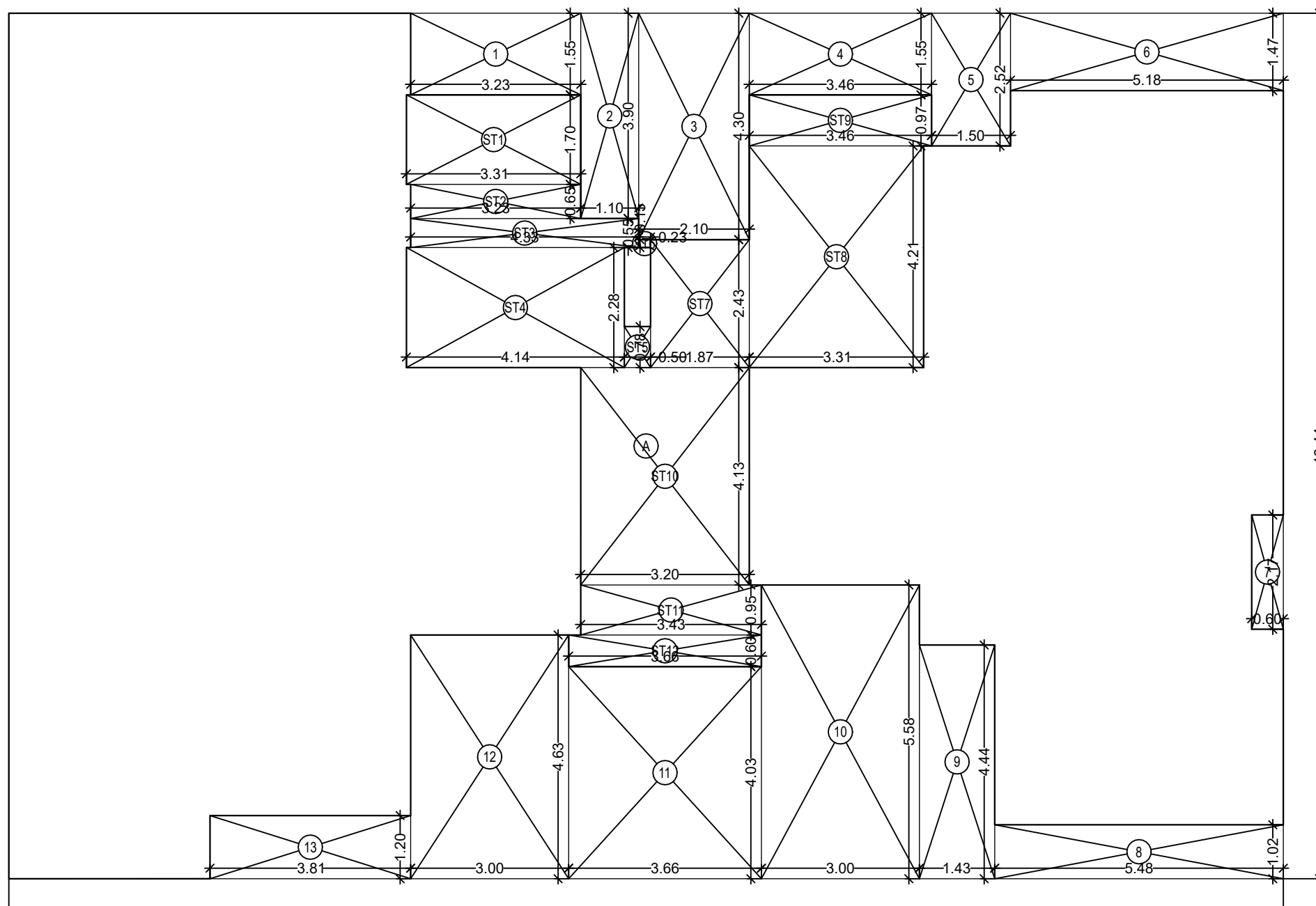
7TH, 9TH, 11TH & 13TH FLOOR AREA DIAGRAM

SCALE 1:100



2ND TO 6TH, 8TH, 10TH, & 12TH FLOOR PLAN

SCALE 1:100



2ND TO 6TH, 8TH, 10TH, & 12TH FLOOR AREA DIAGRAM

SCALE 1:100

BUILT UP AREA CALCULATION

2ND TO 6TH, 8TH, 10TH & 12 TH FLOOR				
A	24.20	X	16.44	X 1 NO
TOTAL ADDITION				= 397.85 SQ.MT X

DEDUCTIONS

1	3.23	X	1.55	X 1 NO
2	1.10	X	3.90	X 1 NO
3	2.10	X	4.30	X 1 NO
4	3.46	X	1.55	X 1 NO
5	1.50	X	2.52	X 1 NO
6	5.18	X	1.47	X 1 NO
7	0.60	X	2.17	X 1 NO
8	5.48	X	1.02	X 1 NO
9	1.43	X	4.44	X 1 NO
10	3.00	X	5.58	X 1 NO
11	3.66	X	4.03	X 1 NO
12	3.00	X	4.63	X 1 NO
13	3.81	X	1.20	X 1 NO
TOTAL DEDUCTION				= 98.27 SQ.MT Y1
TOTAL BUILT UP AREA (X - Y1)				= 299.58 SQ.MT X1

STAIRCASE AREA CALCULATION

2ND TO 6TH, 8TH, 10TH & 12 TH FLOOR				
ST1	3.31	X	1.70	X 1 NO
ST2	3.23	X	0.65	X 1 NO
ST3	4.33	X	0.55	X 1 NO
ST4	4.14	X	2.28	X 1 NO
ST5	0.50	X	0.78	X 1 NO
ST6	0.23	X	0.15	X 1 NO
ST7	1.88	X	2.43	X 1 NO
ST8	3.31	X	4.21	X 1 NO
ST9	3.46	X	0.97	X 1 NO
ST10	3.20	X	4.13	X 1 NO
ST11	3.43	X	0.95	X 1 NO
ST12	3.66	X	0.60	X 1 NO
TOTAL STAIRCASE AREA PER FL. (2ND TO 6TH, 8TH, 10TH & 12 TH FLOOR)				= 60.52 SQ.MT Y2

NET BUILT UP AREA (X1 - Y2)	= 239.06 SQ.MT
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PROFORMA - B

CONTENTS OF SHEET

2ND TO 14TH(PT) FLOOR PLANS, 2ND TO 14TH(PT) AREA LINE DIAGRAM

NOTES

ALL DIMENSION ARE IN METER

APPROVAL OF PLAN

This Candies Approval to the previous Plans Sanctioned under No. CHE/ES/0547/M/337(NEW) dated. 09/05/2023

Approval Subjected to the conditions mentioned in this office letter No. CHE/ES/0547/M/337(NEW)

S.E.M-II	A.E (B.P.)M	E.E (B.P.) 1

MUNICIPAL CORPORATION OF GREATER MUMBAI

DESCRIPTION OF PROPOSAL & PROPERTY

PROPOSED REDEVELOPMENT ON PLOT BEARING C.T.S. NO. 853(P.T), 853/15 TO 22, OF VILLAGE CHEMBUR, TALUKA-KURLA, KANDHARI COLONY, 2ND ROAD, CHEMBUR, MUMBAI - 400 071.

NAME AND SIGNATURE OF OWNER/APPLICANT

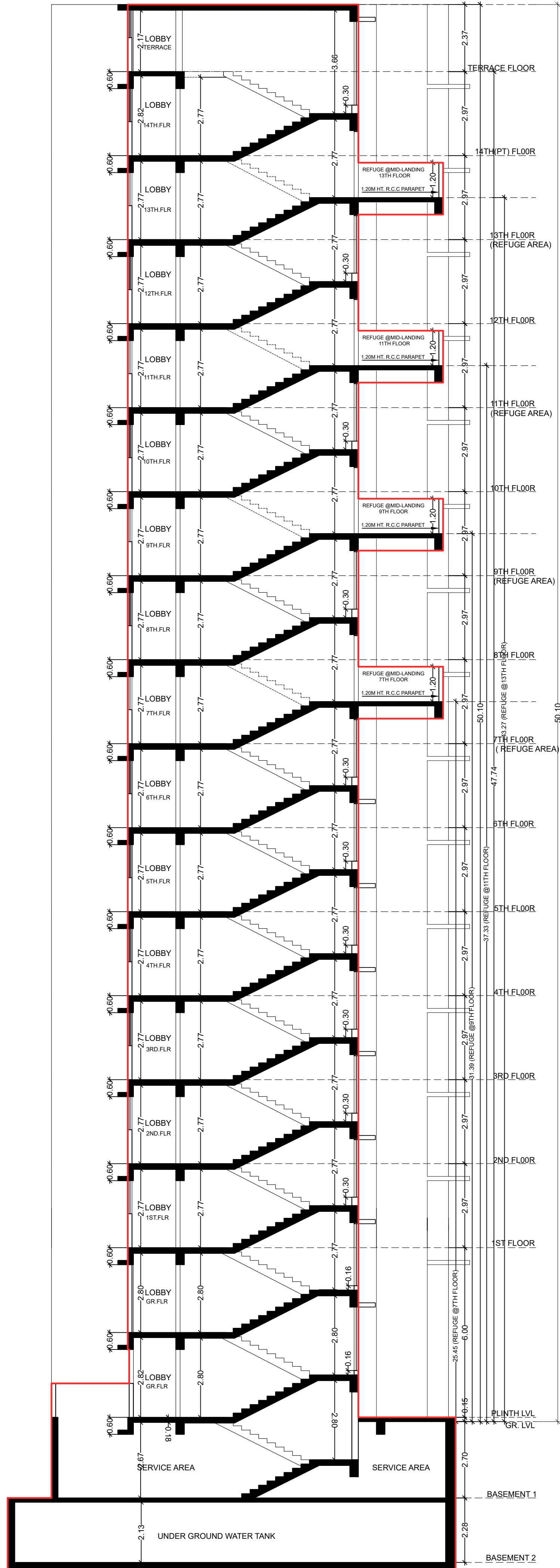
M/S. TATTVA MITTAL CORPORATION PVT.LTD.

C.A. TO OWNER

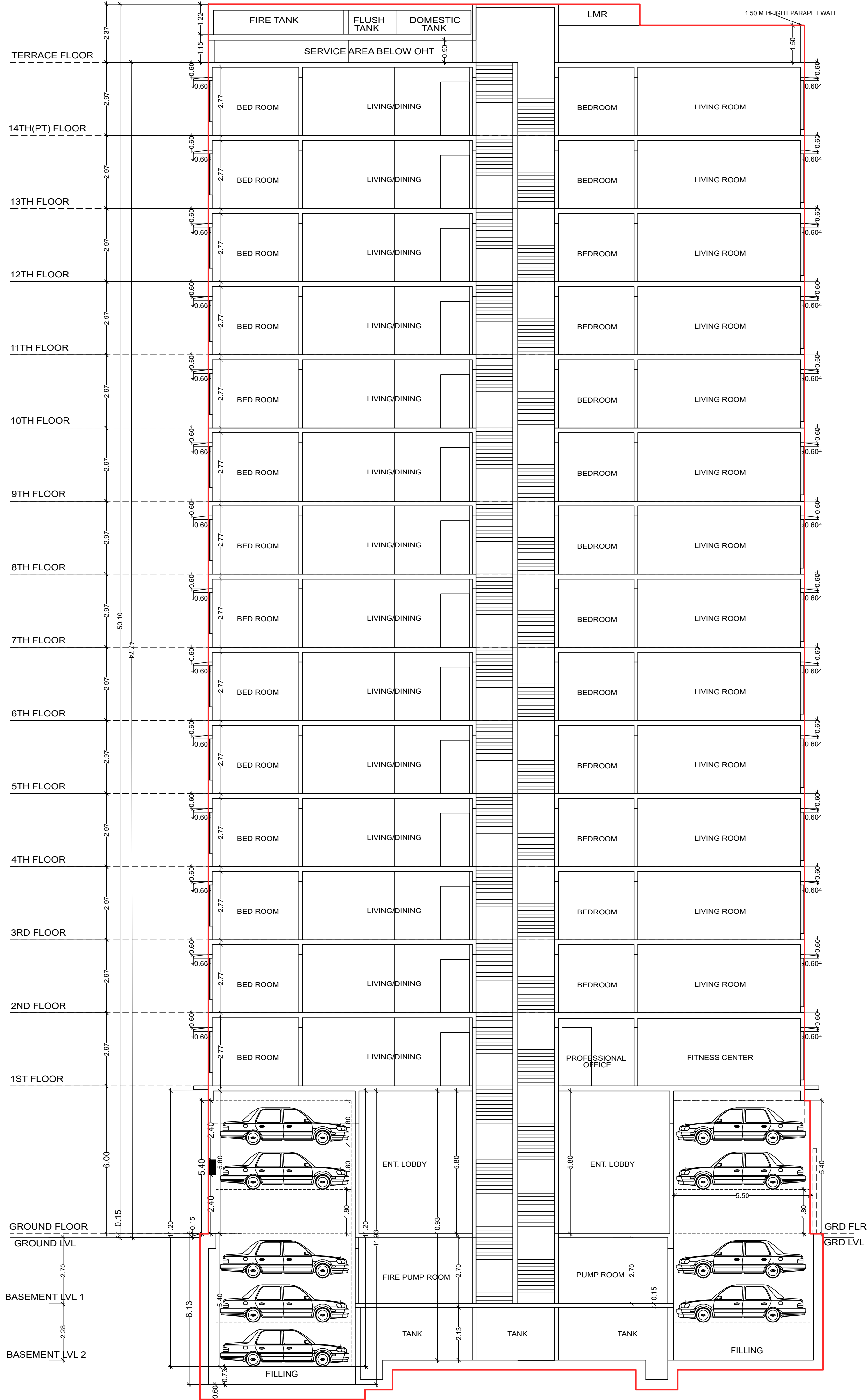
JOB NO DRG NO SCALE DATE DRAWN BY

BMC-AM 04 AS SHOWN 08.08.2023 AR. SIDDHI BARODEE

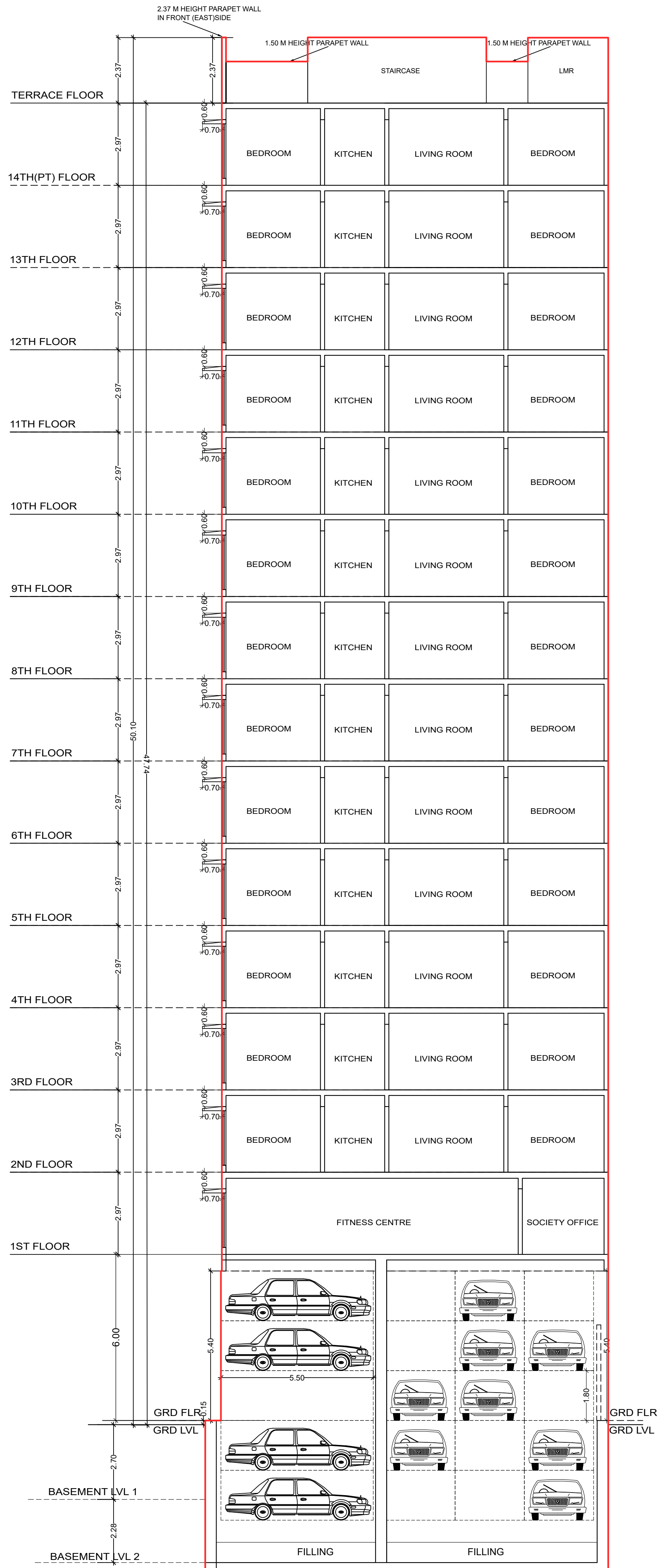
NAME & ADDRESS OF ARCHITECT



SECTION AA'
SCALE 1:100



SECTION BB'
SCALE 1:100



SECTION CC'
SCALE 1:100

PROFORMA - B

CONTENTS OF SHEET
SECTION A-A', SECTION B-B', SECTION C-C'

NOTES

ALL DIMENSION ARE IN METER

APPROVAL OF PLAN

This Certificate Approval to the previous Plans Sanctioned under No. CHE/ES/0547/MW/337(NEW) dated: 09/05/2023

Approval Subjected to the conditions mentioned in this office letter No. CHE/ES/0547/MW/337(NEW)

S.E.M.II A.E (B.P.M) E.E (B.P.) 1

MUNICIPAL CORPORATION OF
GREATER MUMBAI

DESCRIPTION OF PROPOSAL & PROPERTY

PROPOSED REDEVELOPMENT ON PLOT BEARING
C.T.S. NO. 853(P1), 853(P2), 853(P3) TO 22, GF VILLAGE CHEMBUR,
TALUKA-KURLA, KANDHARI COLONY 2ND ROAD,
CHEMBUR, MUMBAI - 400 071.

NAME AND SIGNATURE OF OWNER/APPLICANT

M/S. TATTVA MITTAL
CORPORATION PVT.LTD.

C.A TO OWNER

JOB NO. DRG NO. SCALE DATE DRAWN BY

BMC-AM 05 AS SHOWN 08.08.2023 AR. SIDDIHI BARGODE

NAME & ADDRESS OF ARCHITECT

Ketan Vaidya Associates

ARCHITECT, INTERIOR DESIGNER,

20 / B, KAKAMAL CHS., SUBHASHI ROAD,
VILE-PARLE (E), MUMBAI-400 057. PH- 022 2612 3470